



East Drive, Cheddleton, ST13 7DN.  
Offers in the Region Of £400,000

Whittaker Est. 1930  
& Biggs

## East Drive, Cheddleton, ST13 7DN.

This four bedroom detached family home is nestled within a quiet cul de sac made up of only three properties and is located within the exclusive St Edwards Park development. A highly desirable property, being constructed by Redrow and what is referred to as their high specification heritage range. The outlook to the front of the property is a delight, with open grass and woodland, a fantastic position, with lots of privacy. The interior of the property comprises of an entrance hallway, having useful cloakroom off. The living room is spacious, with a solid fuel open fireplace. The dining room has patio doors leading out to the rear garden and a further room is currently utilised as a study. The dining kitchen has a vast range of fitted units to the base and eye level, integrated appliances which include fridge/freezer, dishwasher, De Dietrich grill and fan oven. A storage cupboard is located under the stairs and there is ample room for a dining table and chairs. The utility room has matching units, sink, plumbing for a washing machine and space for a dryer. To the first floor is a spacious landing and airing cupboard housing the immersion heated tank. All four bedrooms are of good proportions, with bedroom one having built in wardrobes and contemporary ensuite bathroom. The family bathroom is again a modern suite. This home is warmed by a gas fired central heating boiler and is Upvc double glazed. Externally to the front is a herringbone block paved driveway providing access to the double garage, having remote electric door and which incorporates both power and light. Gated access is available to the side and to the rear is an enclosed garden, mainly laid to lawn, patio area and well stocked borders. A viewing comes highly recommended to appreciate the location and quality of the build.

### Situation

A beautiful four bedroom home situated in the grounds of the ever popular St. Edwards Park. The park itself boasts many countryside walks along the canal and railway line. Just on the outskirts of the busy market town of Leek but also close to The Potteries, Buxton and Ashbourne. Cheddleton benefits from various village shops, Tea Rooms and country public houses.



### Entrance Hallway

External composite style door to the front elevation with inset feature glazed panels, radiator, stairs to the first floor.

### Cloakroom

Housing low level WC, wall mounted wash hand basin, tiled splash backs, radiator.

### Dining Kitchen 13' 11" x 12' 8" (4.24m x 3.86m reducing to 3.22m)

Range of units to the base and eye level having work surfaces over, one and a half stainless steel sink unit with mixer tap, tiled splash backs, four ring stainless steel gas hob, stainless steel 'Smeg' extractor fan above, integral dishwasher, integral De Dietrich grill and electric fan assisted oven, integral fridge freezer, Upvc double glazed window to the rear and side elevation, radiator, storage cupboard.

### Utility Room 7' 3" x 5' 0" (2.22m x 1.53m)

Range of units to the base and eye level, inset stainless steel sink unit with mixer tap, roll top work surfaces over, tiled splash backs, external composite style door to the side elevation, wall mounted Glow-worm gas fired central heating boiler, plumbing for automatic washing machine, space for tumble dryer, loft access.

### Living Room 15' 11" x 12' 3" (4.86m x 3.73m into recess)

Upvc double glazed leaded light window to the front elevation, radiator, feature fireplace incorporating open fire set on marble effect hearth with wood mantle over.

### Dining Room 11' 5" x 10' 7" (3.48m x 3.23m)

Upvc double glazed patio door to the rear elevation overlooking the garden, radiator.

### Office 7' 10" x 6' 11" (2.38m x 2.11m)

Upvc double glazed window to the rear elevation, radiator.

### First Floor

#### First Floor Landing

Upvc double glazed window to the side elevation, loft access, radiator, airing cupboard housing immersion heated tank.

#### Bedroom One 15' 9" x 11' 8" (4.80m into wardrobe x 3.56m)

Upvc double glazed leaded light window to the front elevation, built in wardrobes, radiator.

#### En-suite Shower Room 6' 8" x 6' 0" (2.02m x 1.84m)

Double walk-in shower, vanity wash hand basin, tiled splash backs, low level WC, extractor, Upvc double glazed frosted window to the front elevation.

#### Bedroom Two 12' 2" x 8' 11" (3.71m into wardrobe x 2.73m)

Upvc double glazed window to the rear elevation, built in wardrobes, radiator.

#### Bedroom Three 10' 10" x 9' 1" (3.30m x 2.76m)

Upvc double glazed window to the rear elevation, radiator.

#### Bedroom Four 7' 1" x 6' 9" (2.16m x 2.07m)

Upvc double glazed window to the rear elevation, radiator.

#### Family Bathroom 6' 11" x 6' 0" (2.10m x 1.84m)

White suite comprising panel bath with chrome mixer tap and lighting, vanity wash hand basin, tiled splash backs, low level WC, Upvc double glazed frosted window to the front elevation, matt black ladder radiator, shaver point.



**Double Garage 17' 1" x 16' 5" (5.20m x 5.00m)**

Having remote electric up and over door, power and light connected, door to the side elevation.

**Outside**

The front of the property is accessed over a herringbone blocked paved driveway, area laid to lawn having inset borders incorporating mature plants and shrubs, pedestrian gated access to the side of the property.

**Rear Garden**

Formal gardens surround the rear of the property having flagged patio, area laid to lawn with inset borders incorporating mature plants, trees and shrubs, cold water tap, courtesy lighting, fenced boundaries.

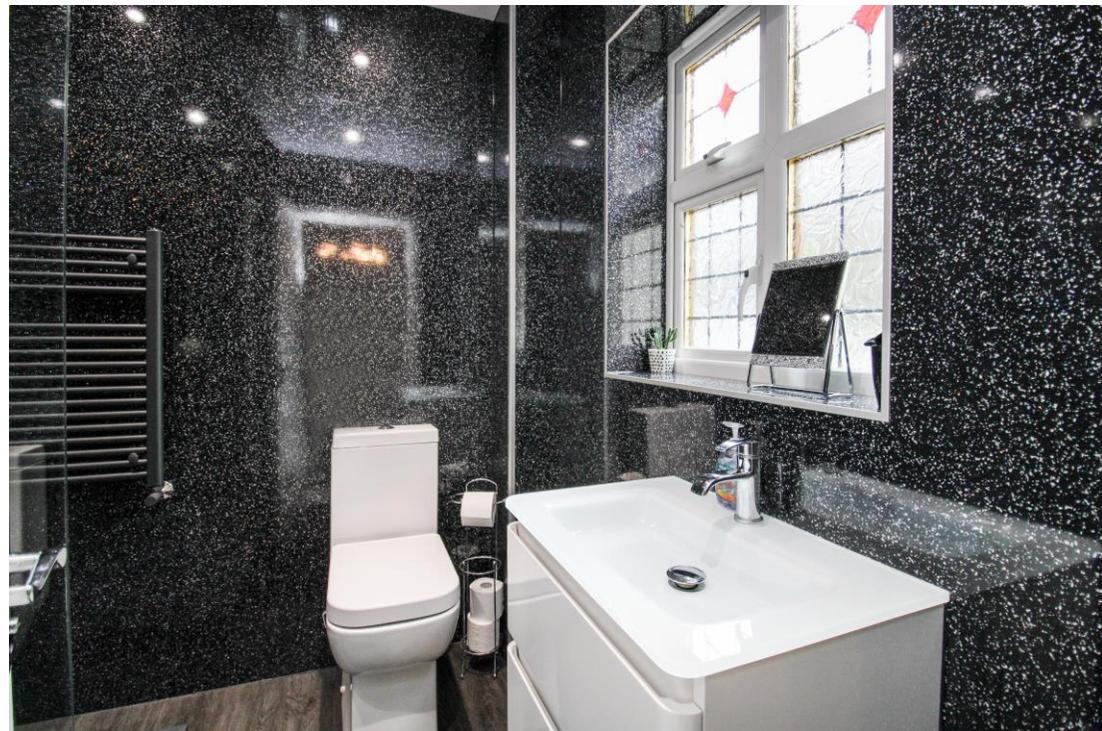
Note:

Council Tax Band: E

EPC Rating:

Tenure: believed to be Freehold

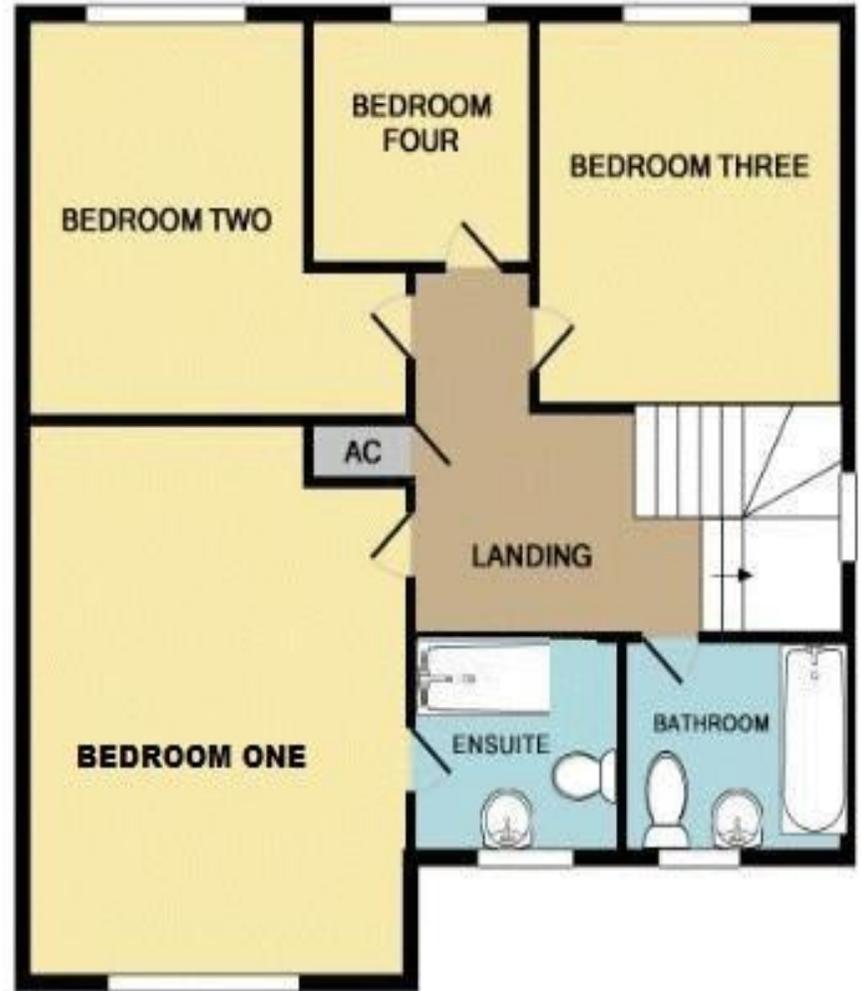








GROUND FLOOR



1ST FLOOR



## Directions

From our Derby Street, Leek, offices proceed along Haywood Street, follow this road and at the traffic lights turn left on to the A520 Cheddleton Road, passing through the villages of Leekbrook and proceed up the hill taking the first turning right into East Drive, follow this road for a short distance and take the first left turning into the cul de sac, where the property is situated on the right hand side.

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